

Planning permission

Application under Section 42 to develop land without complying with the time limits in condition no. 1 of the planning permission 04/318/CP (seeking 6 month extension of time limit).



Access to the site
from the Nethy
bridge to Broomhill
road





Eastern site boundary, with a view of the former railway platform and station building on land to the rear



LOT 2 TO BE SUBJECT TO SEPARATE PLANNING/WARRANT APPLICATION

Planting Legend & Schedule

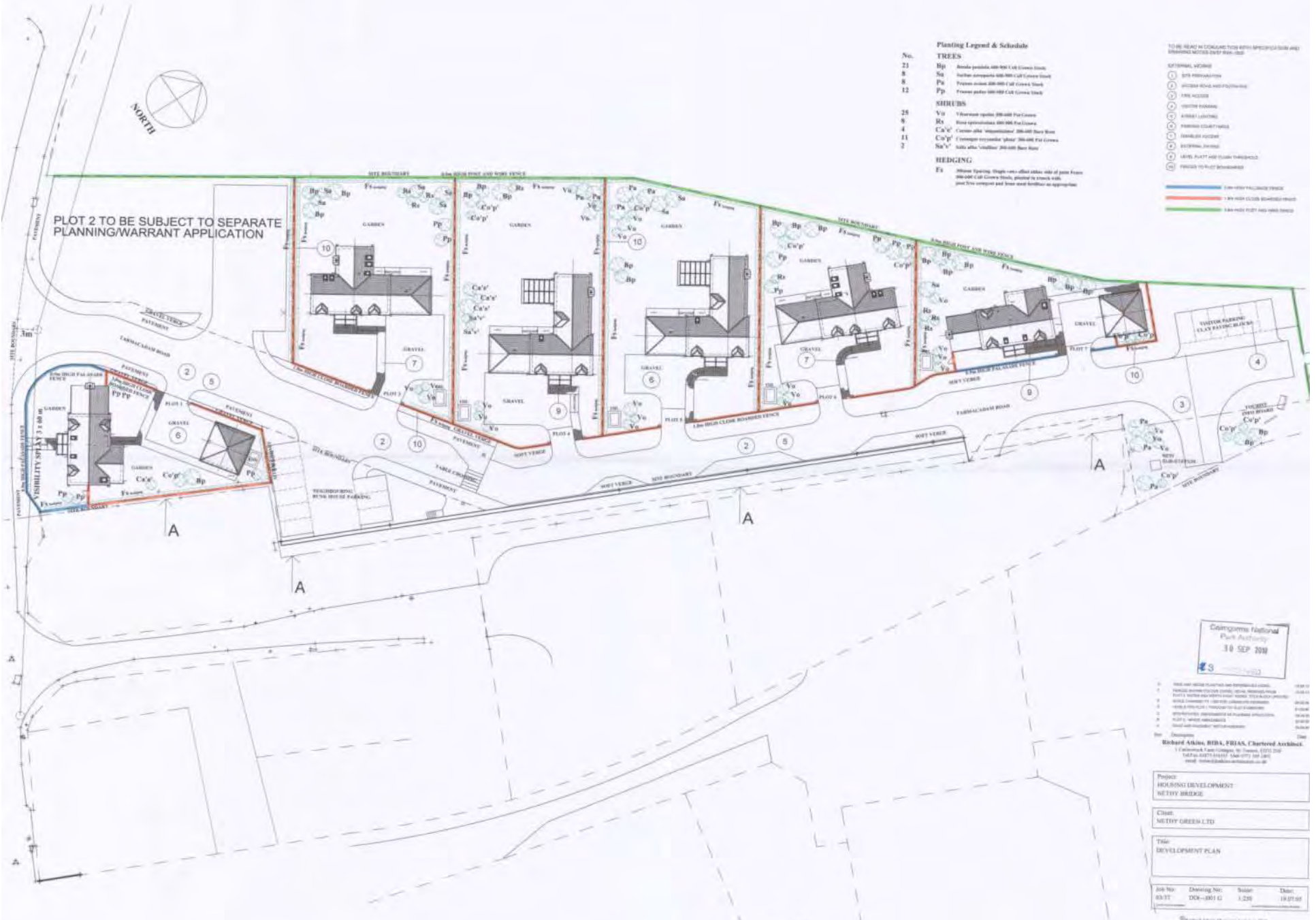
- TREES**
- No. 21 Bp Round headed 400-500 C&B Green Stock
 - 8 Sa Native large open 400-500 C&B Green Stock
 - 8 Pa Prunus avium 200-300 C&B Green Stock
 - 12 Pp Prunus padus 200-300 C&B Green Stock
- SHRUBS**
- 25 Vu Yucca spicata 200-300 P&C Green
 - 8 Rv Rose spicata 200-300 P&C Green
 - 4 Ca'p' Cornus alba 'Spectabilis' 200-300 P&C Green
 - 11 Ca'v' Cornus rostrata 'spina' 200-300 P&C Green
 - 2 Sa'v' Salix alba 'Vitellina' 200-300 P&C Green

HEDGING

Fs Hedging species: Single row offset either side of path from 200-300 C&B Green Stock, planted by stock with good tree coverage and lower level hedging as appropriate

TO BE READ IN CONJUNCTION WITH SPECIFIC SCALE AND DIMENSIONING NOTES ON SHEET 001

- SETBACKS, FENCES**
- 1 2.5M SETBACK
 - 2 3.0M SETBACK
 - 3 3.5M SETBACK
 - 4 4.0M SETBACK
 - 5 4.5M SETBACK
 - 6 5.0M SETBACK
 - 7 5.5M SETBACK
 - 8 6.0M SETBACK
 - 9 6.5M SETBACK
 - 10 7.0M SETBACK
- FENCES TO BE SHOWN**
- 1 1.5M HIGH PALISADE FENCE
 - 2 1.8M HIGH CLASH BOUNDARY FENCE
 - 3 1.8M HIGH FLYING AND WIND FENCE



Colson's National Public Authority
30 SEP 2018

1. This plan shows the proposed development and is subject to the planning process. It is not a guarantee of any kind. The planning process is subject to change and the final decision is at the discretion of the planning authority. The plan is not to be used for any other purpose without the written consent of the architect. The plan is not to be used for any other purpose without the written consent of the architect.

2. The architect is not responsible for any errors or omissions in this plan. The architect is not responsible for any errors or omissions in this plan.

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10. The architect is not responsible for any errors or omissions in this plan. The architect is not responsible for any errors or omissions in this plan.

Project:
HOUSING DEVELOPMENT
METHY BRIDGE

Client:
METHY GREEN LTD

Title:
DEVELOPMENT PLAN

Job No: Drawing No: Scale: Date:
MST: DCB-001 G 1:250 19.07.18

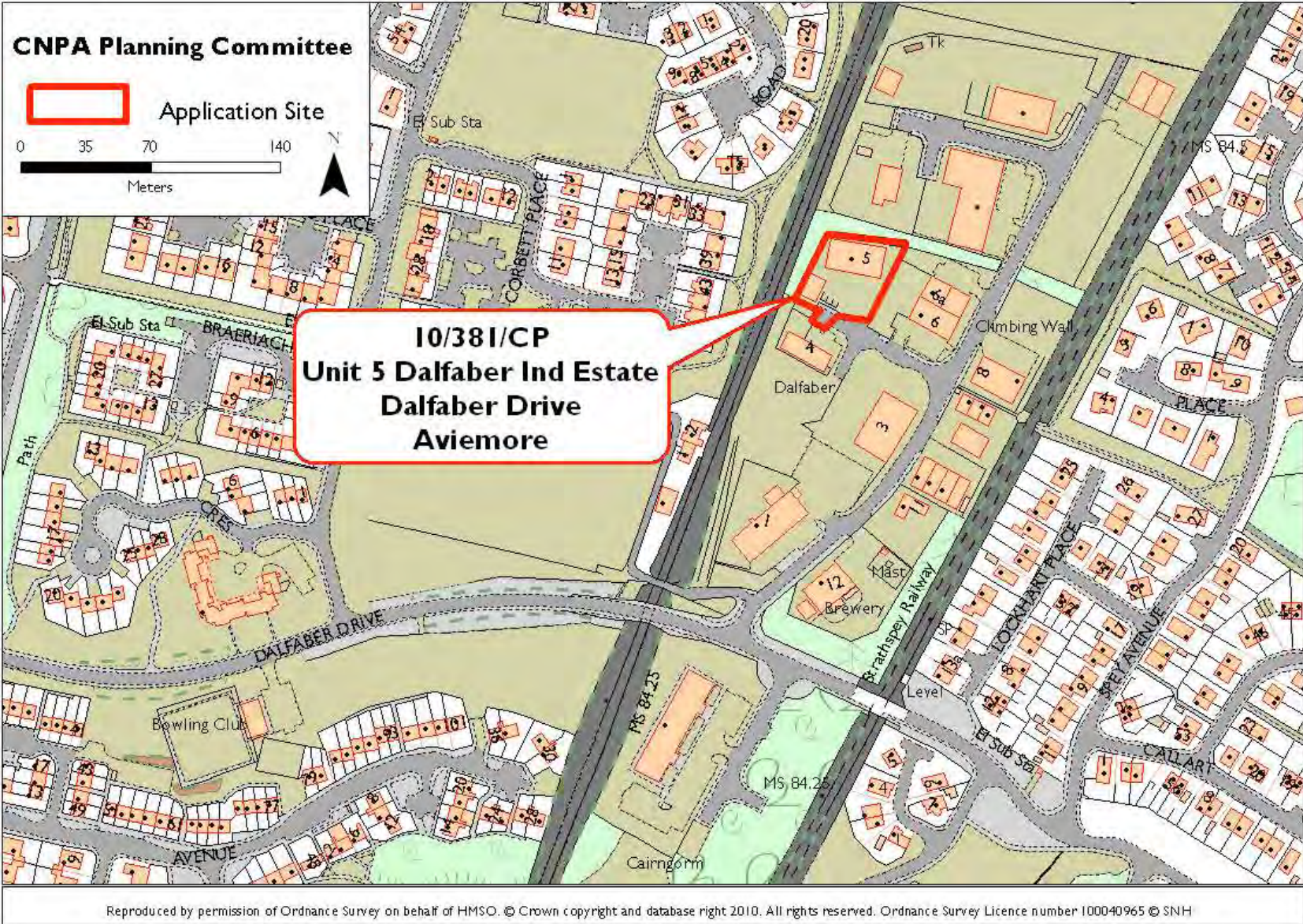
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Patents for 1984 may generally have expired

Key points :

- The CNPA granted planning permission for a mixed use development on the site, under planning ref. no. 04/318/CP, with the development consisting of five dwelling houses and a visitor centre (including craft workshops, retail and cafeteria) and associated access road and parking area.
- Planning permission is due to expire on 17th November 2010.
- The applicants and their associates are working at the present time on purifying a number of conditions, necessary prior to the commencement of any development on the site.
- A six month extension of the time limit is being sought.

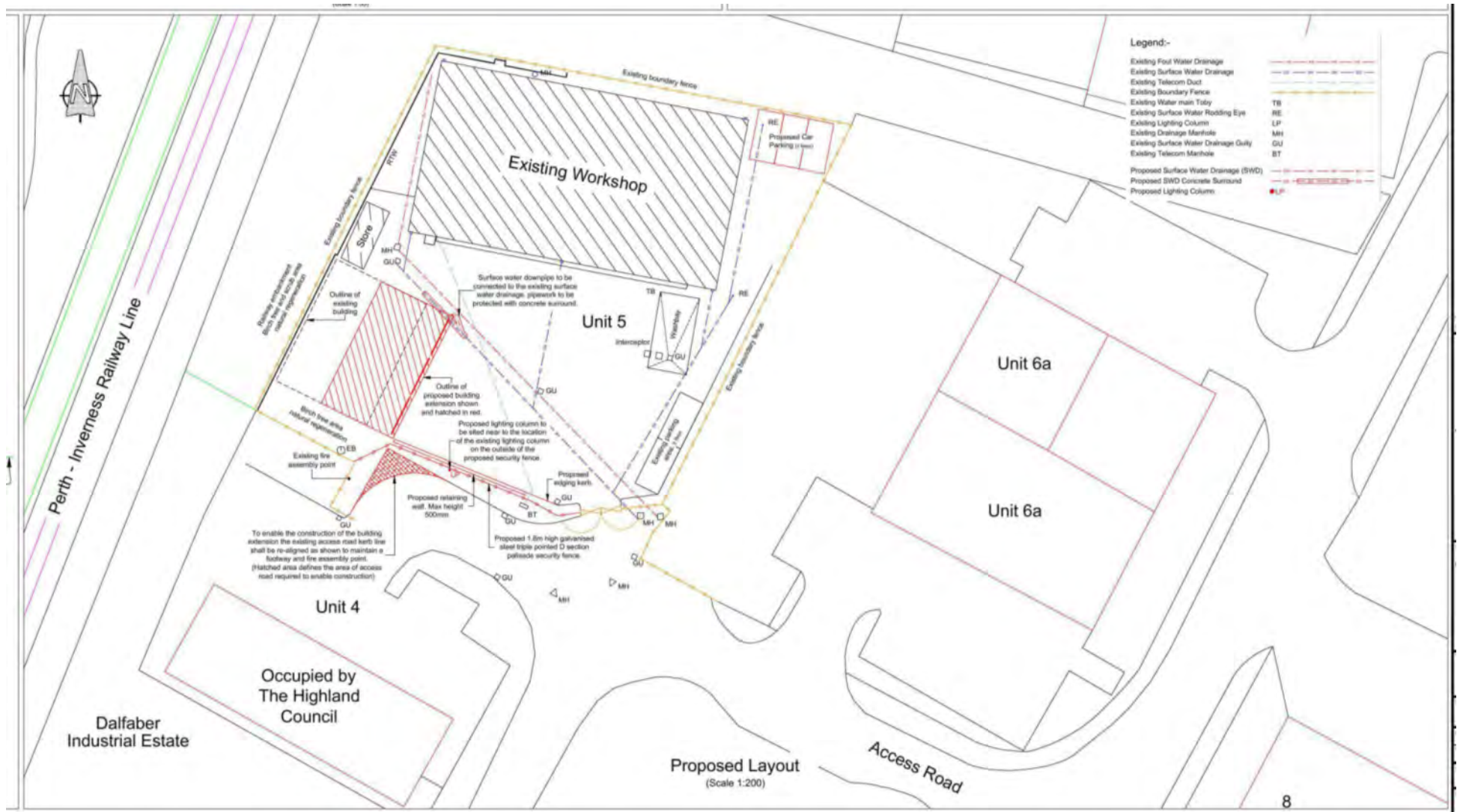
RECOMMENDATION : CALL IN

Recommended reason for call in : The current Section 42 application is directly linked to a planning permission which was previously granted by the Cairngorms National Park Authority. The proposal is considered to be of significance to the aims of the National Park.

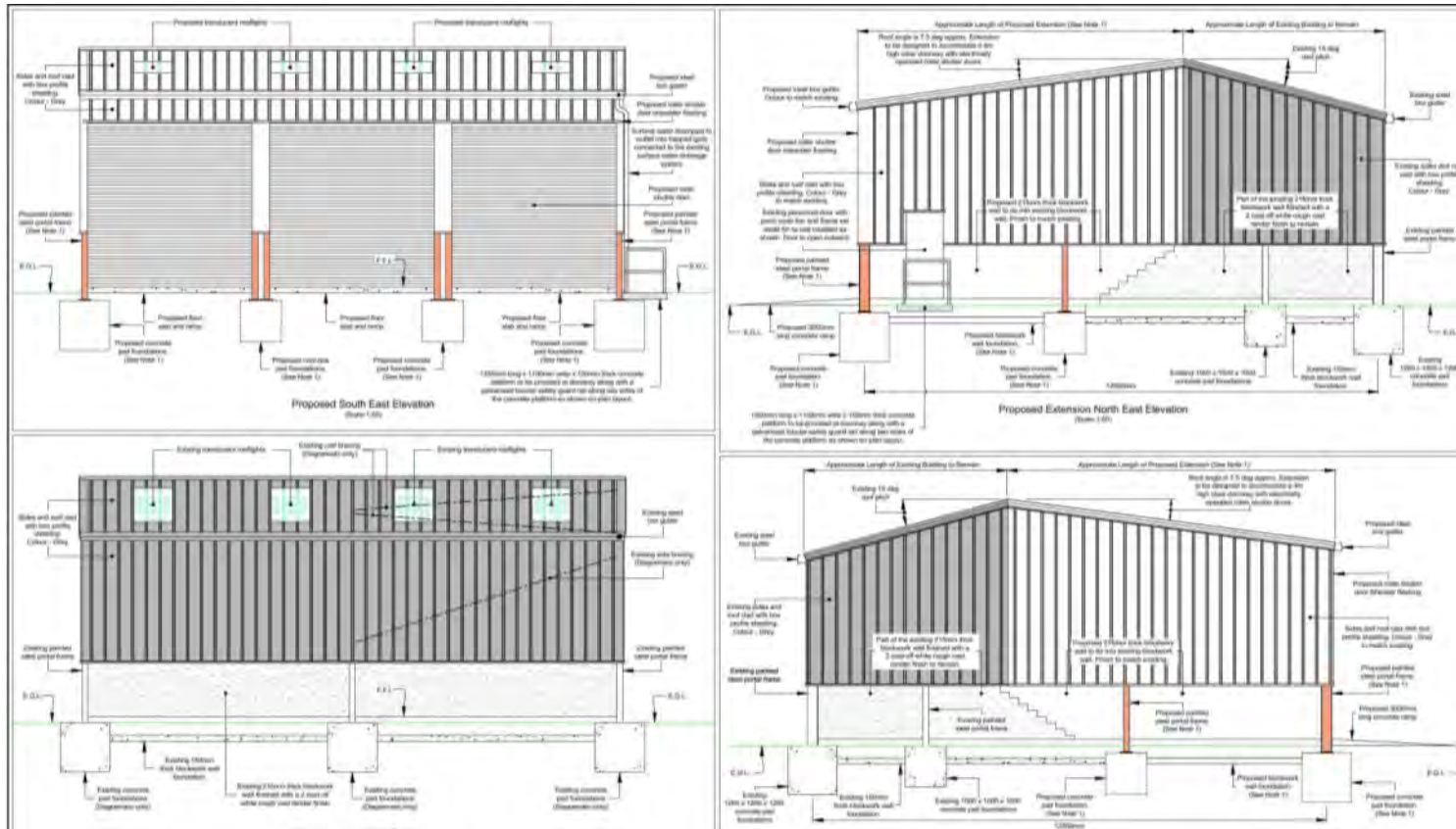


Planning Permission

Part demolition and erection of extension to industrial unit



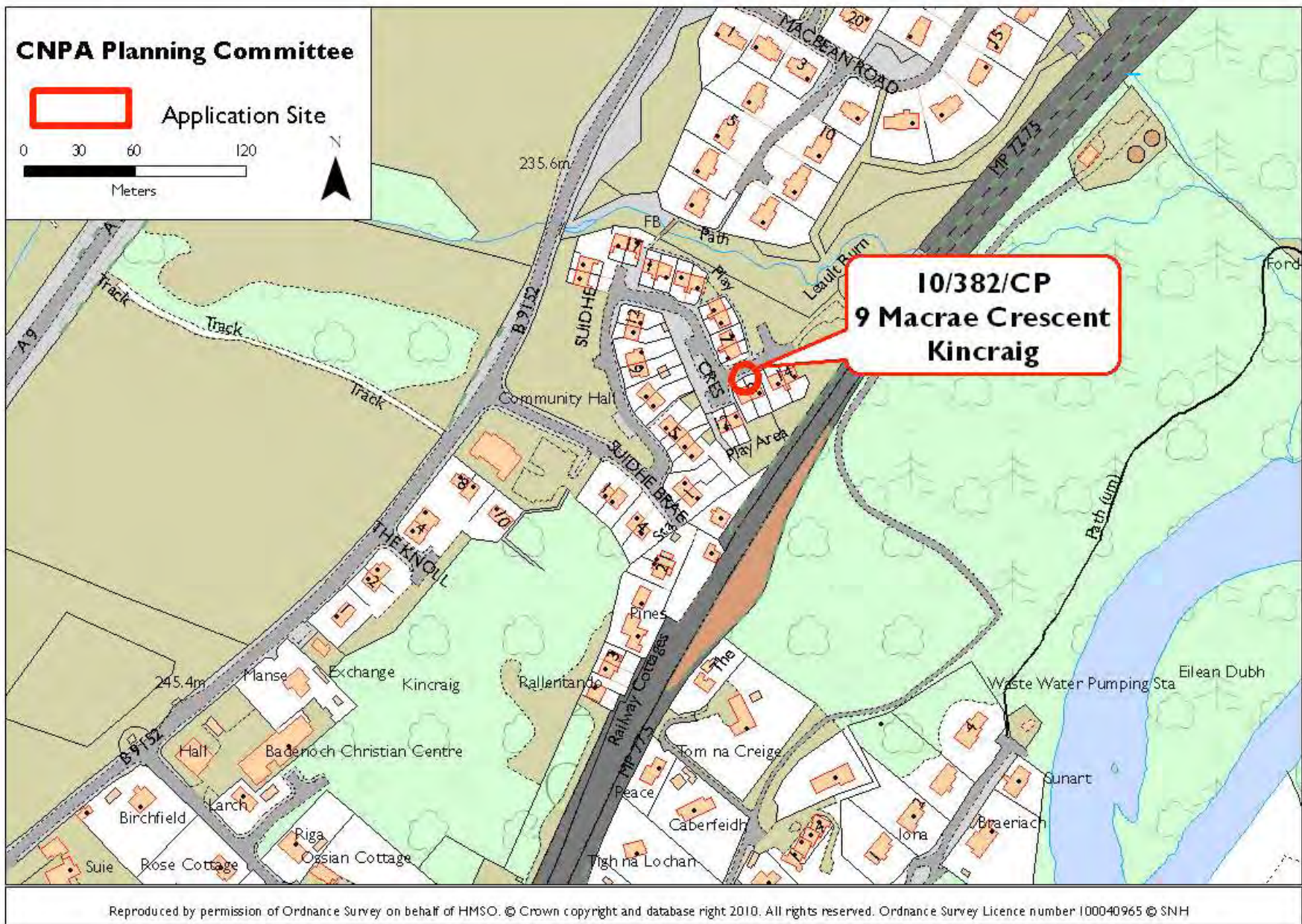
Hatched red area identifies the extent of the proposed extension to the industrial unit



Key points :

- The proposal is for a standard type extension to an existing industrial unit on land within the Dalfaber industrial estate. It is not considered to raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN



**Planning Permission
Erection of porch extension**



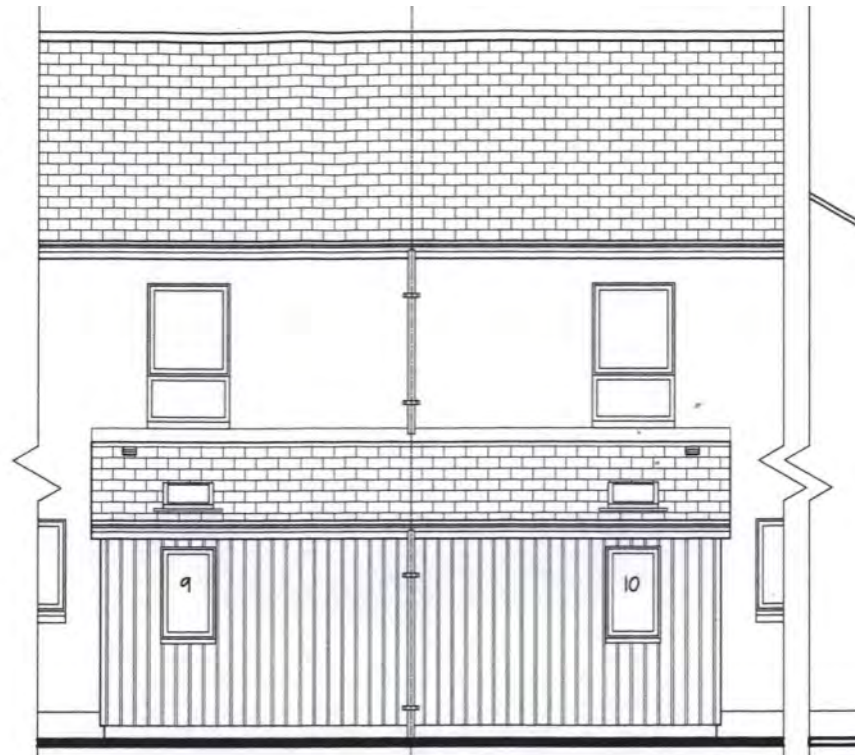
SITE PLAN 1:500

Hatched red area identifies the extent of proposed porch extension



PART ELEVATION

Existing elevation



Proposed porch extension (also showing neighbouring property, which is the subject of planning ref. no. 10/383/CP)

Key Points :

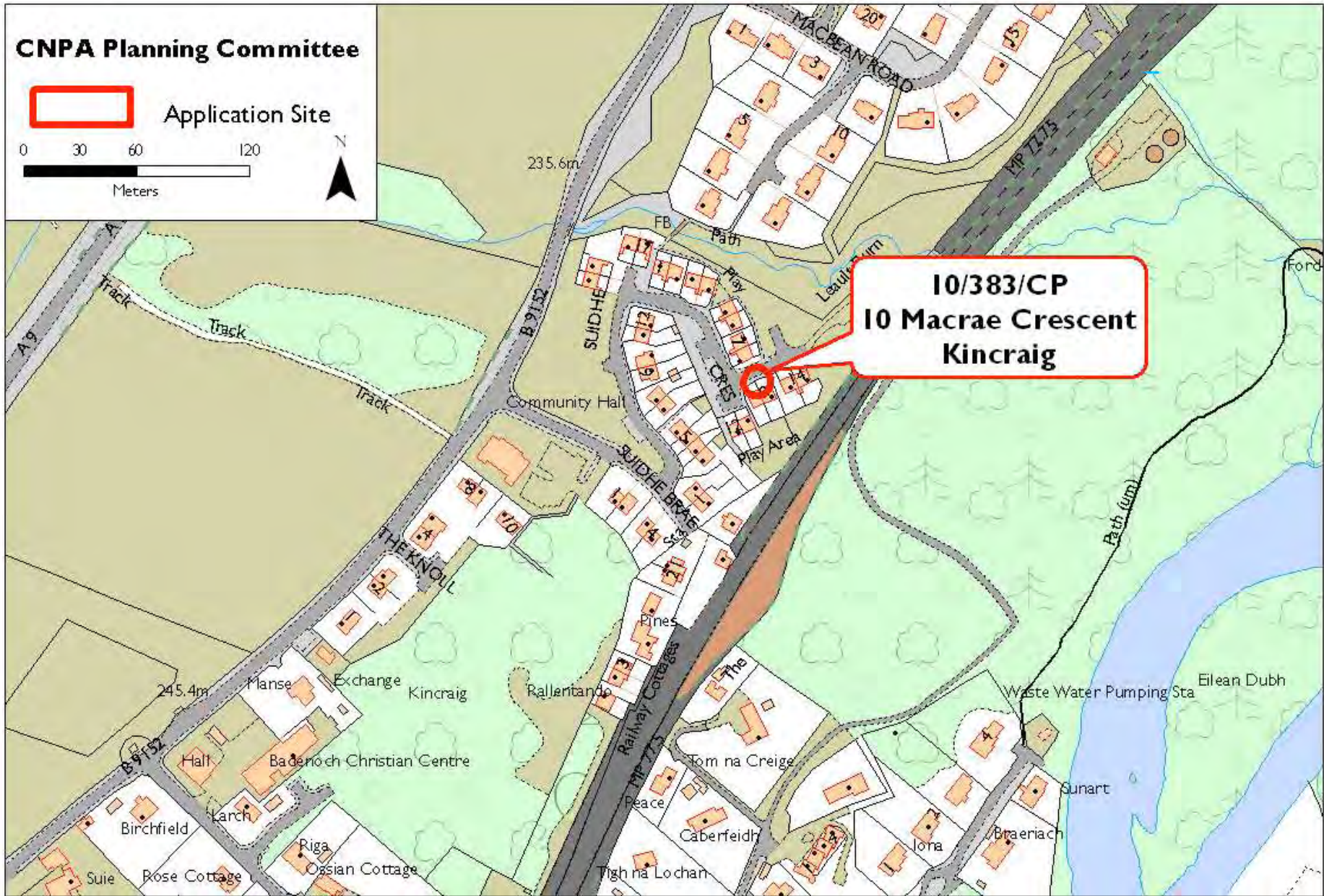
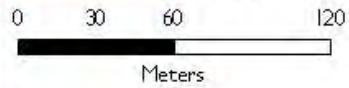
- The proposed development is of a minor domestic nature and is not considered to raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN

CNPA Planning Committee



Application Site

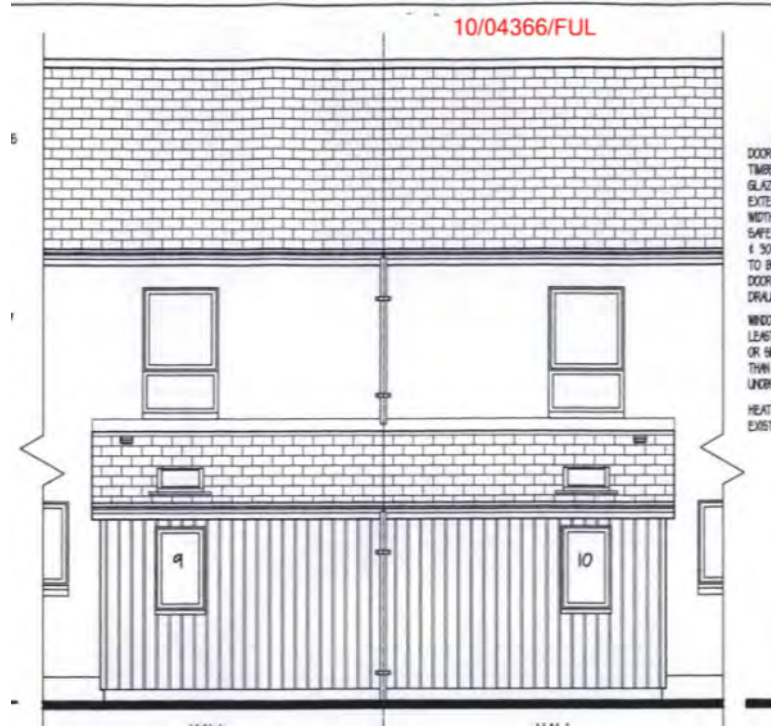


**10/383/CP
10 Macrae Crescent
Kincaig**

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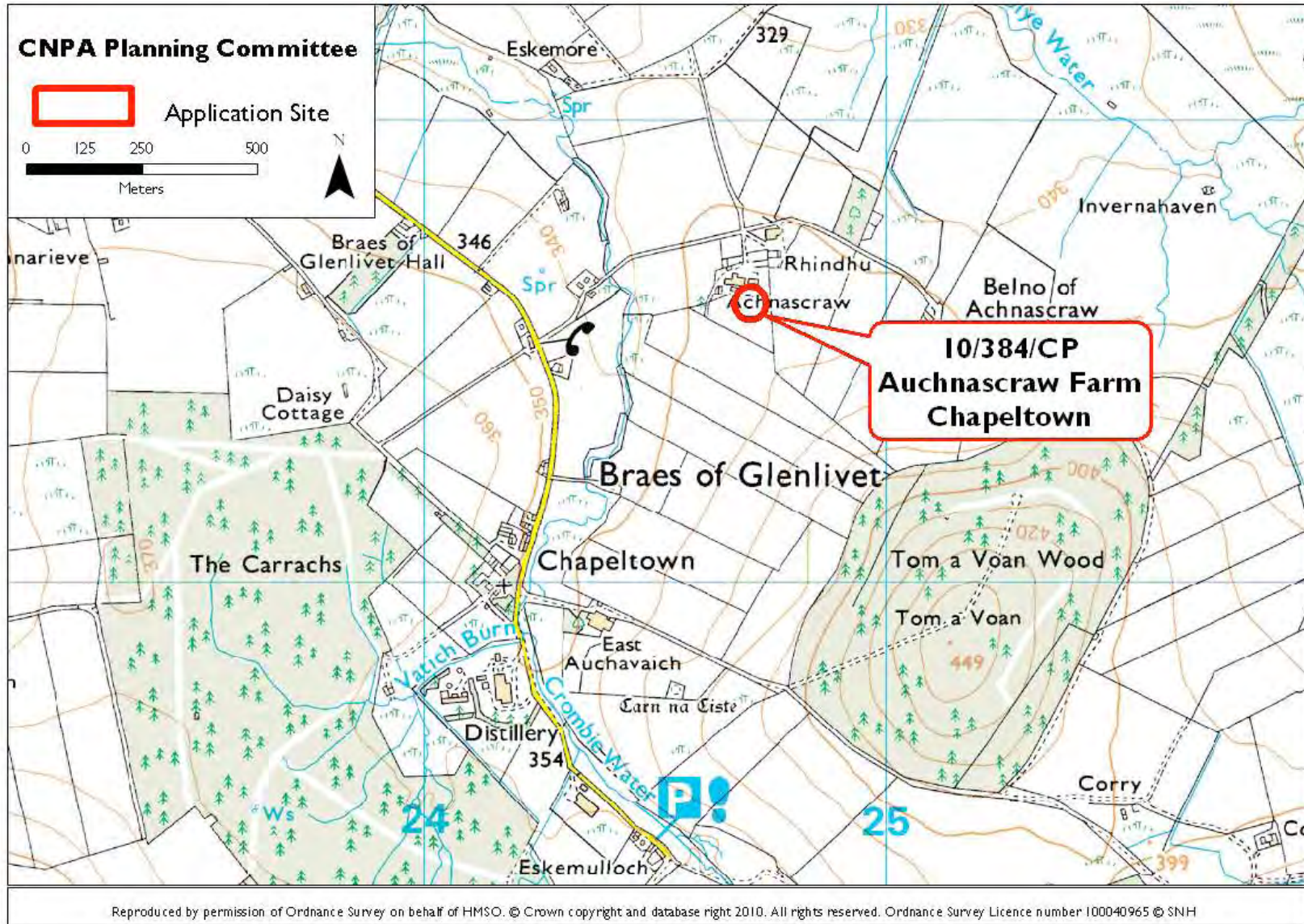
SITE PLAN 1:500



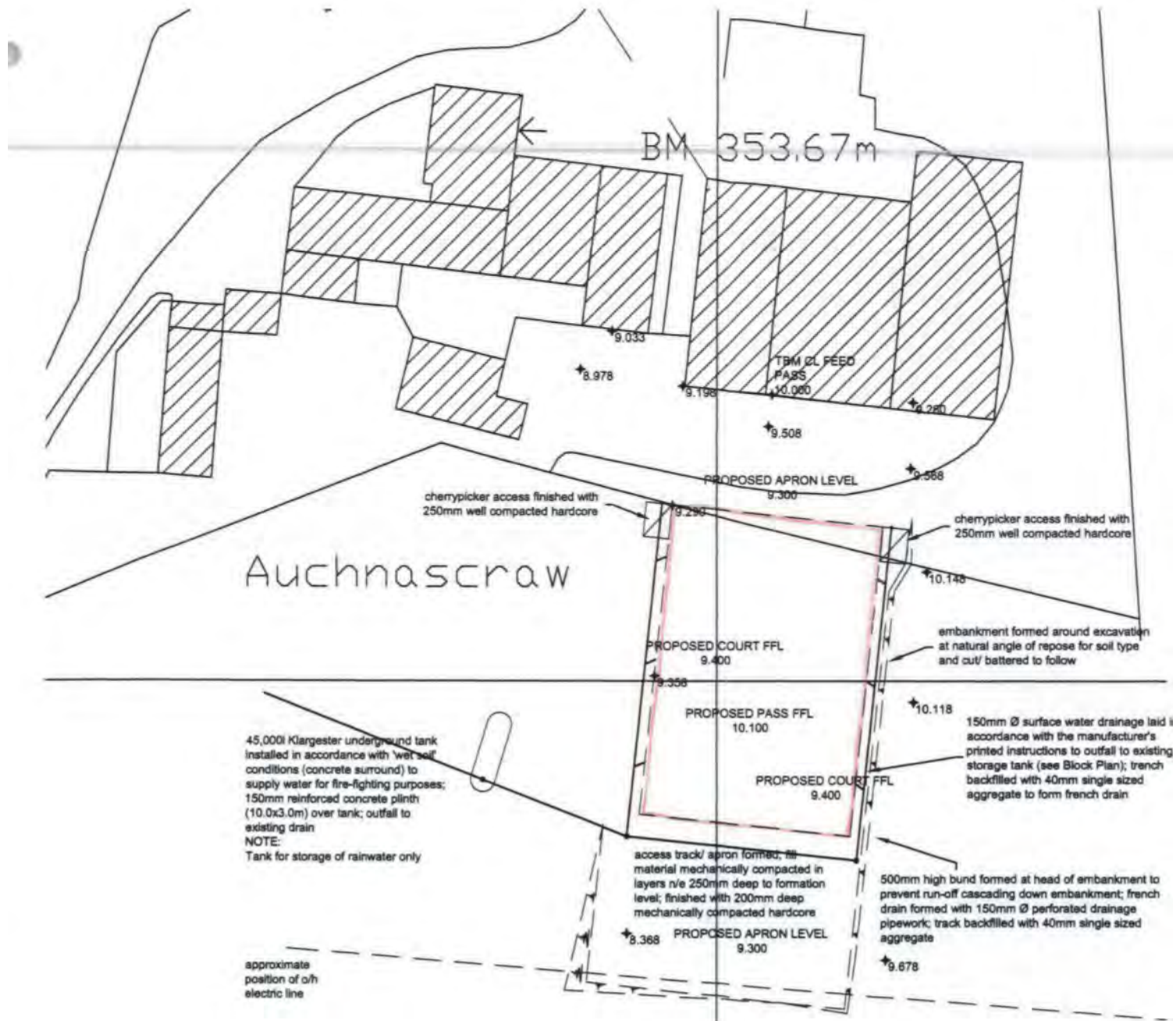
Key points :

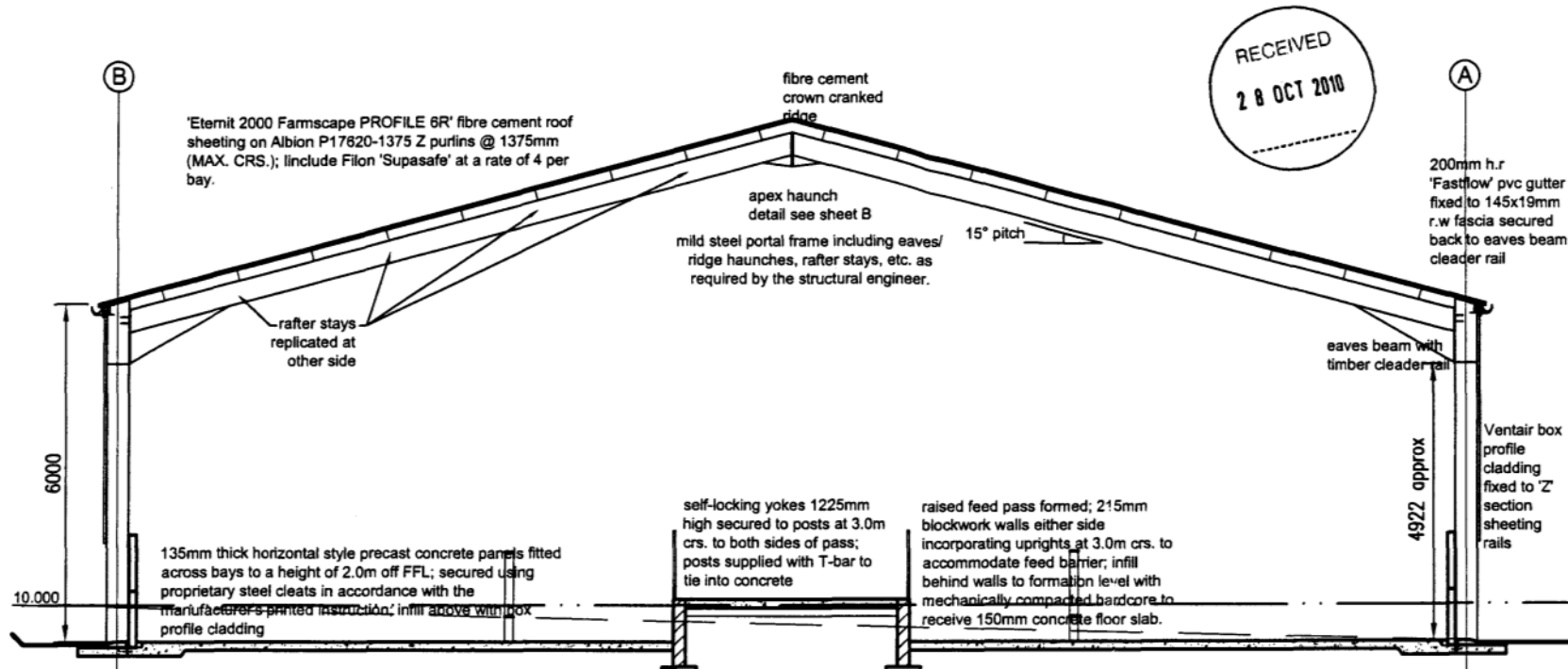
- The proposed development is of a minor domestic nature, and is identical to the proposal in the previous application (planning ref. no. 10/382/CP). It does not raise issues of significance in relation to the aims of the National Park.

RECOMMENDATION : NO CALL IN



**Planning Permission
Erection of steel portal framed building and cladding of same to form cattle court**

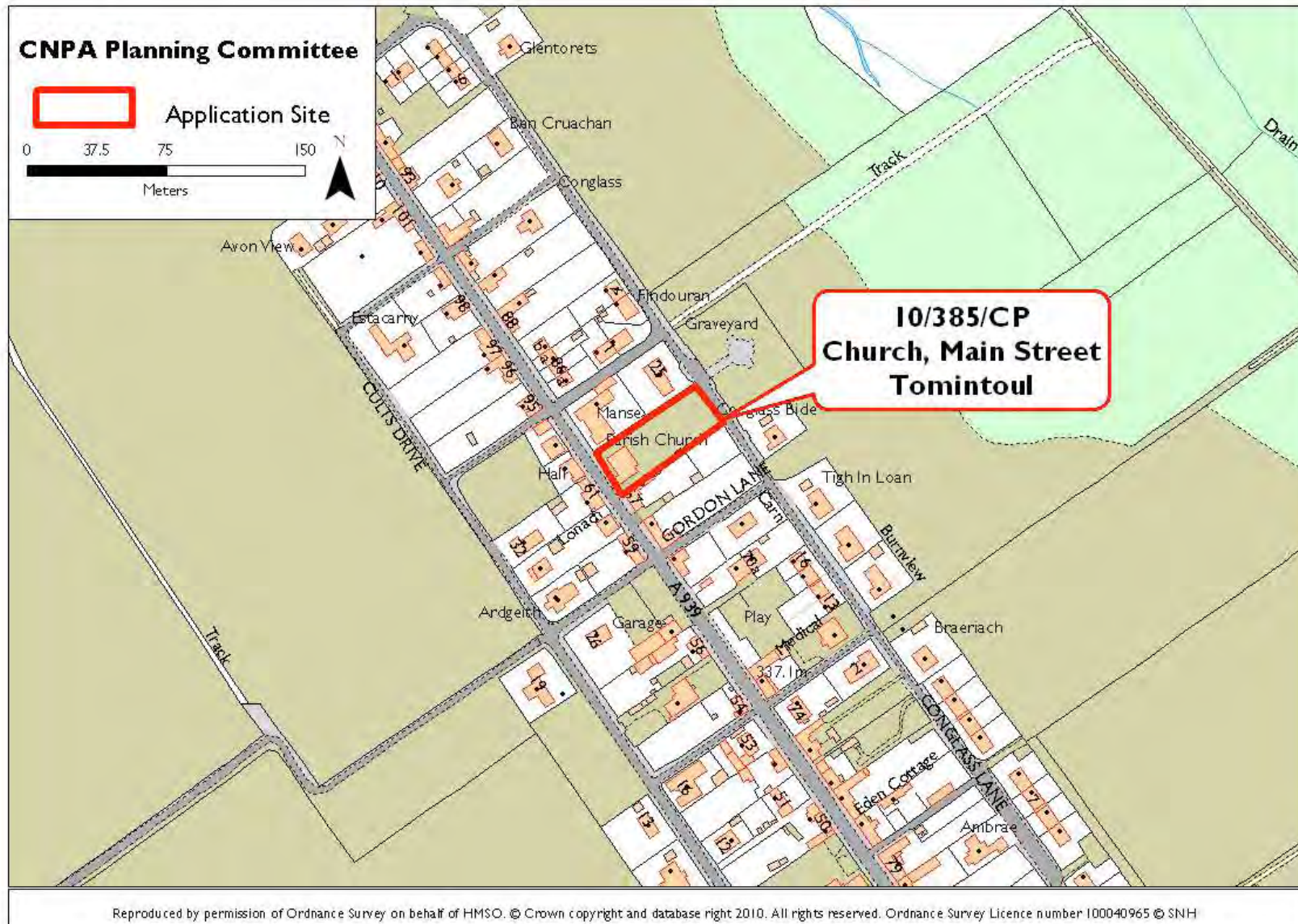




Key points :

- The proposed development is of an agricultural nature and is proposed in a farmyard complex where there are other similar structures. It is not considered to raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN



Listed Building Consent

Pedestrian access ramp to be added to the street entrance, proposed internal alterations relating to an accessible WC in the form vestry and a proposed gallery

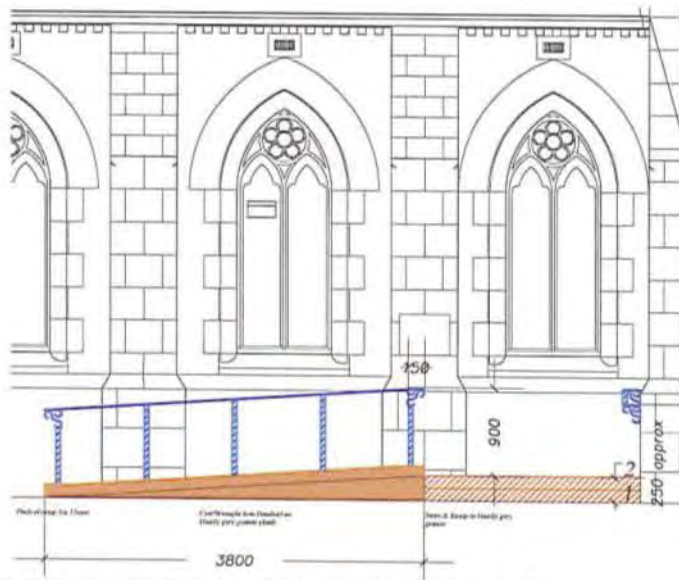




WEST ELEVATION WITHOUT RAILINGS



WEST ELEVATION WITH RAILINGS



WEST ELEVATION DETAIL WITHOUT RAILINGS 1:50



NORTH ELEVATION

LIST BUILDING CO!
 Do not work. Work to figured dimensions & dimensions on site. Clarify discrepancies & ambiguities with architect prior to start of the work. Drawings to be read in so with all relevant specifications and act Copyright reserved.

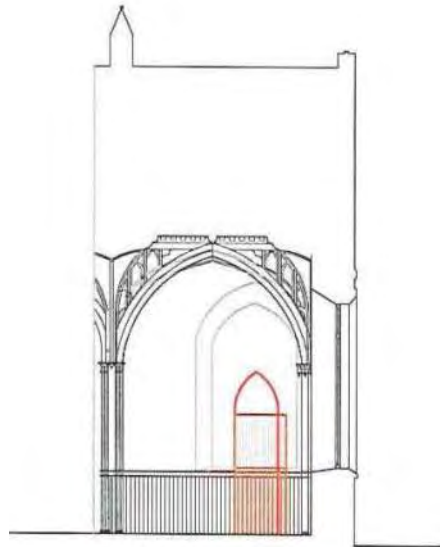


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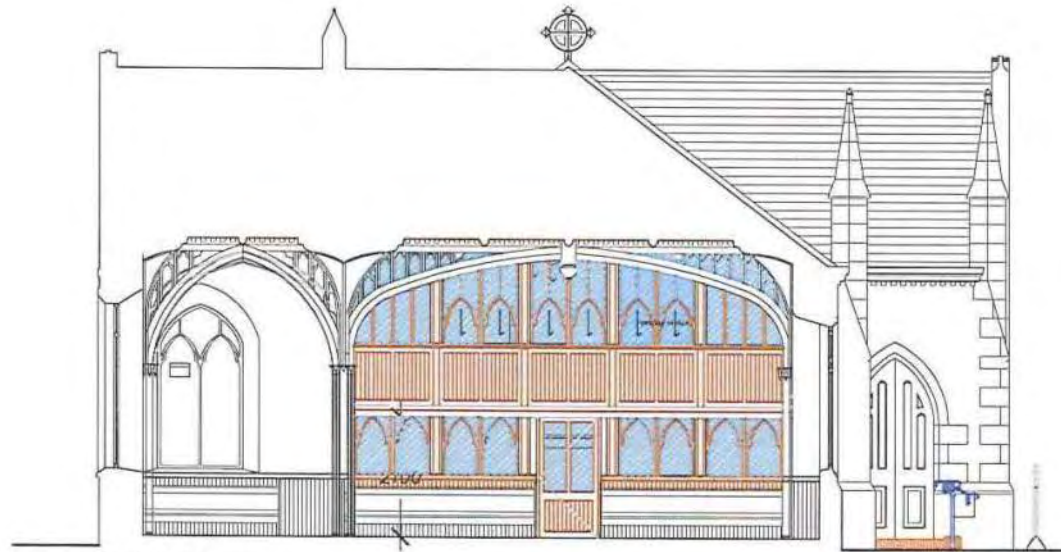
Project
 TOMINTOUL CHURCH
 BALLINDALLOCH AB37
 Client
 CHURCH OF SCOTLAND
 Tomintoul, Glenlivet and I

Drawing Title
 NORTH AND WEST
 ELEVATIONS AS
 PROPOSED

Date Oct 2010 Scale 1:100/1:50
 Project no. Drawing no.



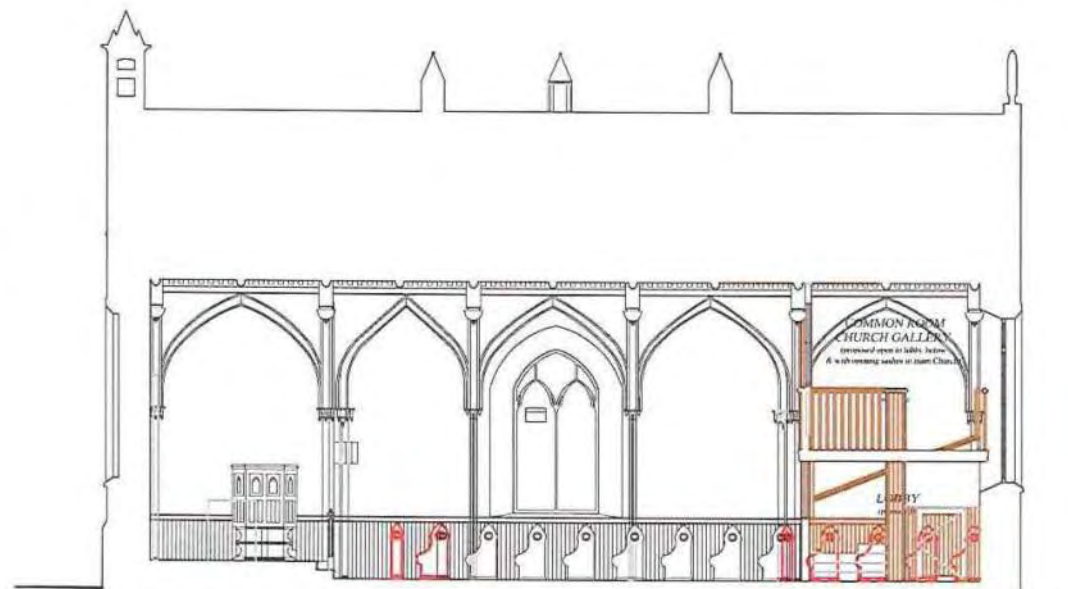
SECTION C-C



SECTION B-B

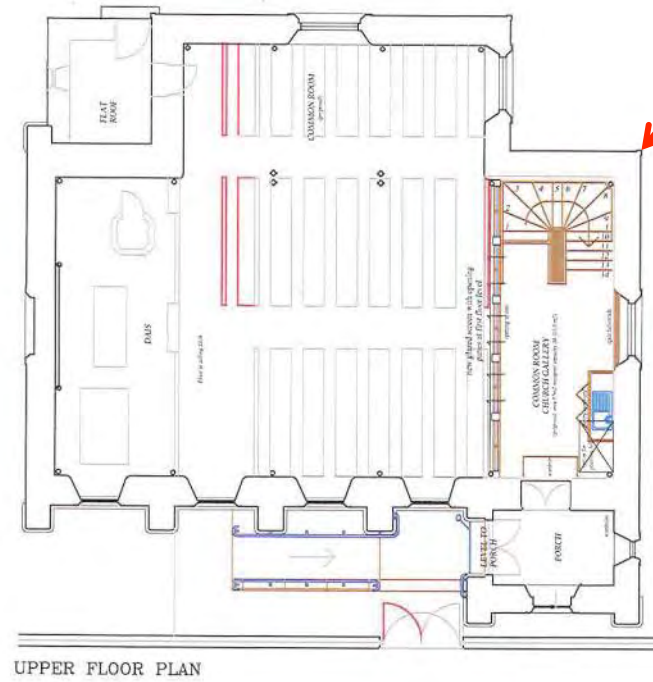
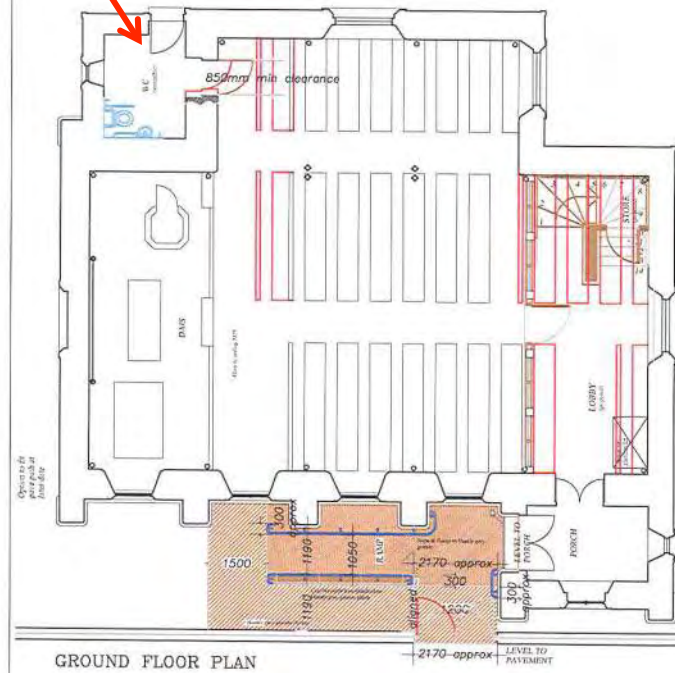
INTERNAL ALTERATIONS

The proposed internal works on these drawings are shown for your information as they relate to the interior of an ecclesiastic building in current Church use and are therefore exempt.



SECTION A-A

New accessible WC in former vestry



DISTRIBUTION, NOTES AND REVISIONS

Revision	Date	Comment

Gallery proposed at first floor level

STATUS
LISTED BUILDING CONSENT

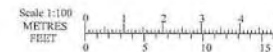
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Project
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BALLINDALLOCH AB37 9HU
Client
CHURCH OF SCOTLAND
Tomintoul, Glenlivet and Inveravon

Drawing Title
PLANS AS PROPOSED



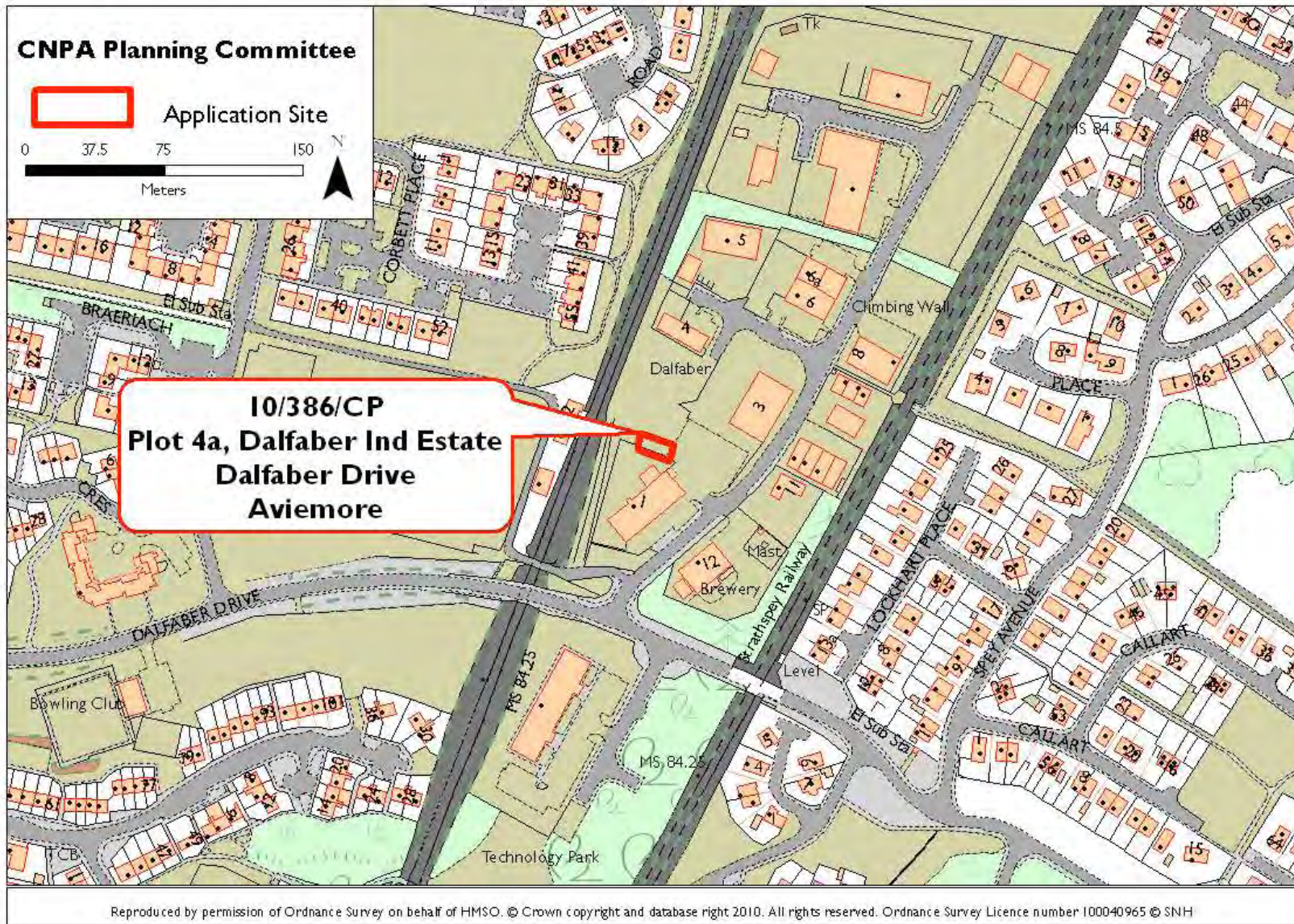
Date	Scale	Size
Oct 2010	1:100	A3
Project no.	Drawing no.	Rev.
1343	LB-002	n/a

Key points :

- Tomintoul Church is a Category B listed building.
- The proposed new pedestrian access ramp would replace an existing gravel path and steps.
- The proposed development involves minimal works to the exterior of the Category B listed building. In addition the works proposed within the building appear to be sensitive to the character, heritage and traditions of the building. Therefore, although affecting a listed building, the proposed development is not considered to raise issues of significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN

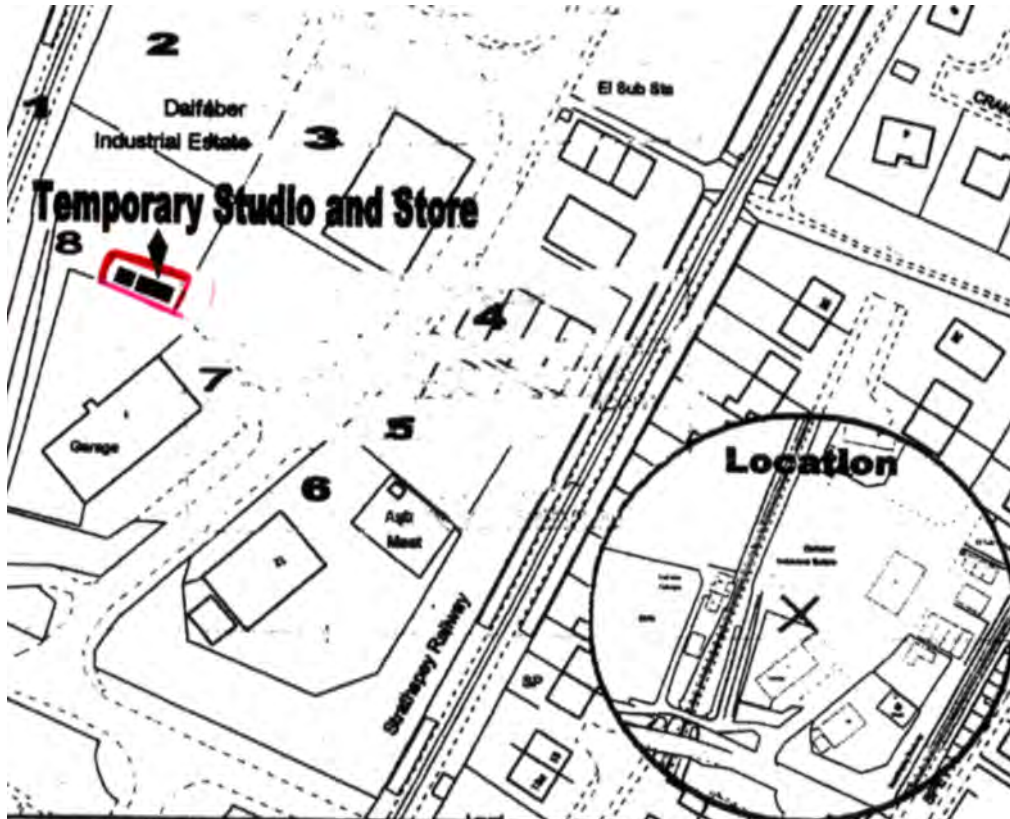
Recommended comments : Having regard to the first aim of the National Park which includes conserving and enhancing the cultural heritage of the area, and taking into account the listed status of the property, it is recommended that a photographic record is compiled of the existing building prior to any works taking place.



Planning permission

Renewal of temporary consent for the siting of two portable cabins for use as temporary radio studio and store



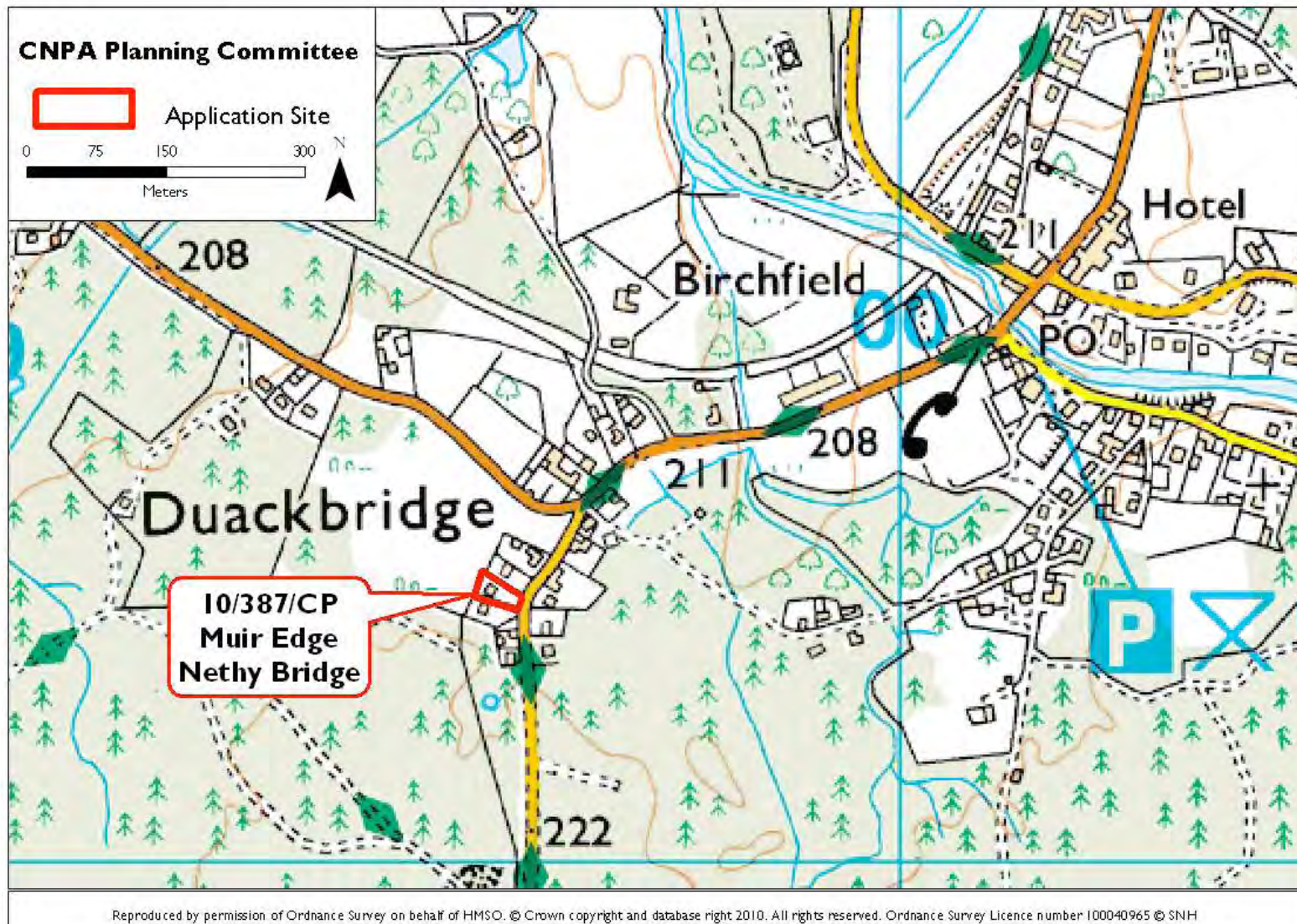


Key points :

- The CNPA were notified of a planning application in 2004 for the temporary siting of the portacabins.
- The planning application was not called in.
- The portacabins are located on land within an existing industrial area of Aviemore.
- The temporary nature of the proposal is not considered to raise issues of significance to the aims of the National Park.
-

RECOMMENDATION : NO CALL IN

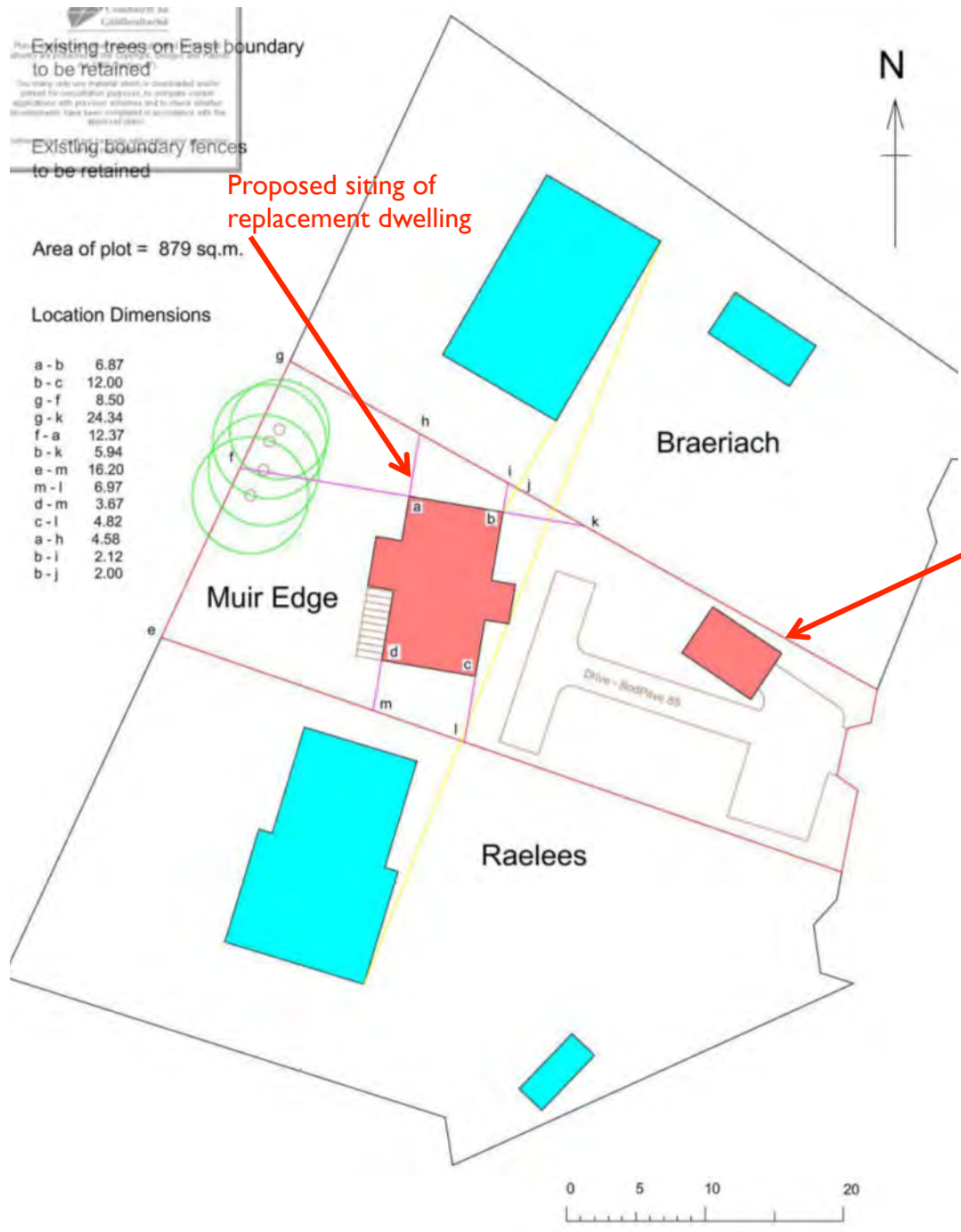
Recommended comment : Having regard to the temporary nature of the structures on the site, it is recommended that any further permission granted should be for a limited and finite temporary period, and it is also suggested that the applicants should be encouraged to progress towards a permanent accommodation solution.



Planning Permission

Demolition of an existing 'Dorran' house and replacement with a new 'Passive House' and garage





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consultation purposes, its copyright owner
with previous schemes and to check whether
it have been completed in accordance with the
approved plans.

must not be made without the prior permission
of the copyright owner.



West Elevation



South Elevation

Key points :

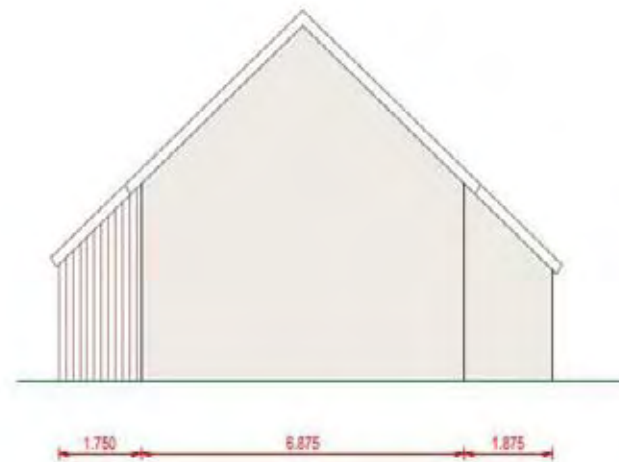
- Walls proposed to have a cement render finish, and limited areas of timber cladding (Scottish larch);

- Roof is proposed to have metal sheeting in a 'slate blue' colour;

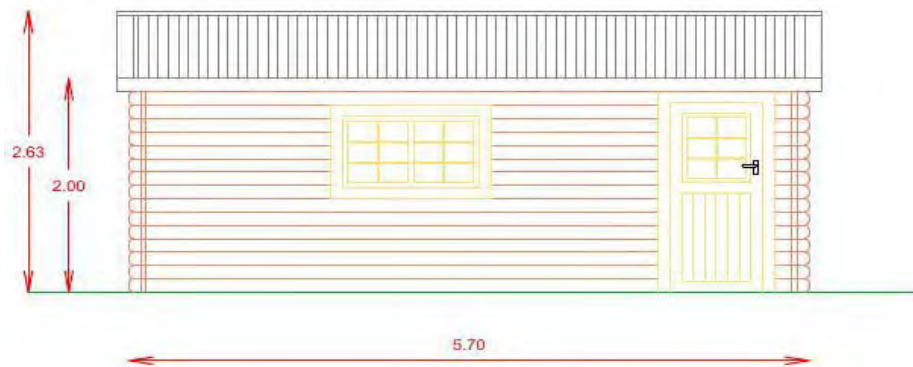
- Detached garage proposed towards the front of the site, to be finished with pine logs.



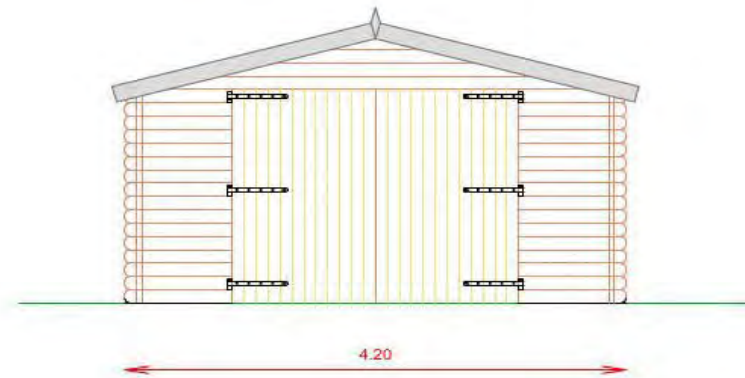
East Elevation (front)



North Elevation



South Elevation



East Elevation (front)

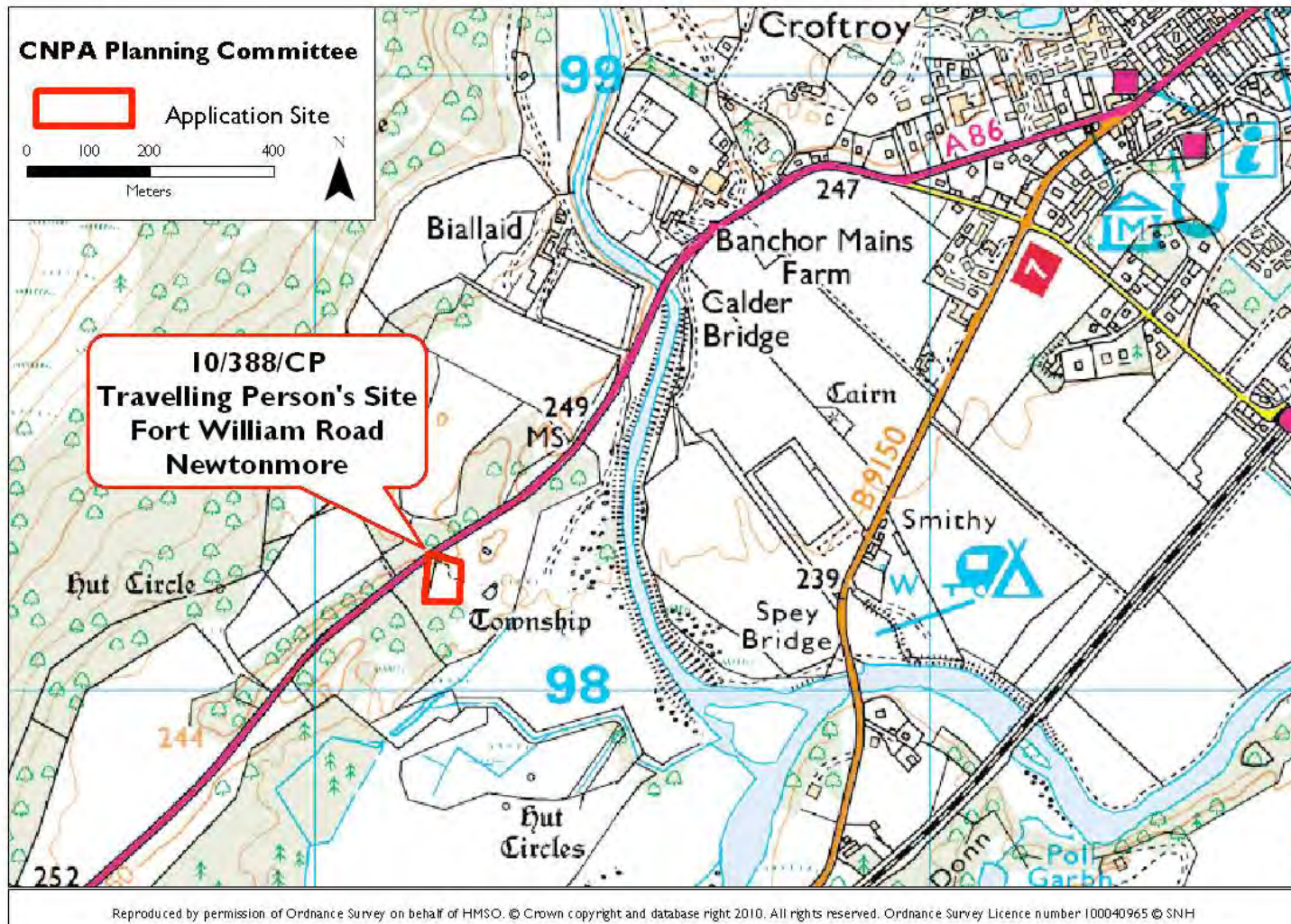
Proposed detached garage

Key points :

- The proposal is for a replacement dwelling house on a site which is within the settlement boundary of Nethy Bridge, and is in an established residential area. The proposal is not considered to raise issues of general significance to the aims of the National Park.

RECOMMENDATION : NO CALL IN

Recommended comments : Whilst welcoming efforts to create a passive house, there is some concern regarding the design, of the proposed dwelling house, including the proportions, fenestration, and choice of materials. In particular there is concern regarding the potential visual impact and visual relationship with other properties in the vicinity. In addition to suggesting that consideration should be given to design amendments, the CNPA would strongly recommend that the proposed slate blue colouring on the roof be discouraged.



Planning Permission

Extension of opening times to all year round

Key points :

- The opening hours of the travelling person's site is an administrative matter which is most appropriately regulated by the Local Authority responsible for the operation of the facility.

RECOMMENDATION : NO CALL IN